

**APPLICATION**

**PLANNING BOARD**  
BOROUGH OF RIVERTON  
505A HOWARD STREET  
RIVERTON, NJ 08077  
TELEPHONE: (856) 829-0120

This application, with supporting documentation, must be filed with the Secretary of the Planning Board at the above referenced address, for a review and determination as to completeness **prior** to a hearing date being set or an applicant advertising for, or mailing notices regarding a hearing date. Hearing dates are only set by the Board Secretary and/or Chairman.

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**This Section to be completed by Planning Board Staff Only**

Date File (Received): 8/27/2024 Application No.: V-06-2021  
Application Fee: \$ 100- Date of Check: 8/24 Check No.: 334  
Escrow Deposit: \$ 350- Date of Check: 8/26 Check No.: 335  
Review for Completeness Completed: \_\_\_\_\_ Hearing Date Set For: \_\_\_\_\_

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**TO BE COMPLETED BY THE APPLICANT**

**1. SUBJECT PROPERTY:**

Location (Street Address): 531 Howard St., Riverton, NJ 08077

Tax Map: Block 903 Lot(s) 26

Dimensions: The space to which the application pertains is one (1) rental unit which is part of 531 Howard St.; accordingly, frontage is provided for the rental unit only. **Frontage** 38' 4" +/- on Howard St. and 24' 8" +/- on Broad St. **Depth** 38' 4" +/- from Howard/Main Sts. / 28.00' +/- from Broad St. **Total Area** 1,100 SF (960 SF retail floor space and 140 SF back of house)

Zoning District (See Zoning Map): NB

**2. APPLICANT INFORMATION:**

Name: Revive Café LLC

Address: 106 Lippincott Avenue, Riverton, NJ 08077

Telephone Number(s): DAY (215) 900-2164 EVENING (215) 900-2164

Applicant is a (please check one): Corporation \_\_\_\_\_ Partnership \_\_\_\_\_ Sole Proprietor \_\_\_\_\_  
Resident \_\_\_\_\_ None of the above- Limited Liability Company X

**3. DISCLOSURE STATEMENT**

Pursuant to N.J.S. 40:55D-48.1, the names and addresses of all persons owning 10% or more of the stock in a corporation that is an applicant, or 10% or greater interest in a partnership that is an applicant, must be disclosed. In accordance with N.J.S. 40:55D-48.2, that disclosure requirement applies to any stockholder in a corporation that is the applicant, or partner in a partnership that is an applicant, who owns or holds 10% or more of its stock, or 10% or greater interest in the partnership, until the names and addresses of the non-corporate stockholders and individual partners, at or exceeding the 10% ownership criterion, have been listed. **[Attach pages as necessary to fully comply with the following information requested for each individual.]**

Name: Jamie Centeno, 50%, Virginette Centeno, 50%

Address: 106 Lippincott Avenue, Riverton, NJ 08077

**4. OWNER IF DIFFERENT FROM THE APPLICANT**  Check here if same

If the owner of the property is someone different from the Applicant, then please complete the following:

Owner's Name: Joseph Rainer, Jr.

Address: 1011 Beechwood Rd., Riverton, NJ 08077

Telephone Number: DAY (609) 820-0908 EVENING: (609) 820-0908

**5. PROPERTY INFORMATION**

Restrictions, covenants, easements, association by-laws, either existing or proposed on the property:

[ X ] YES (Attach copies) [ ] NO [ ] PROPOSED (Attach Description)

NOTE: All deed restrictions, covenants, easements, association by-laws, either existing or proposed, must be submitted for review, and must be written in easily understandable English in order to be approved. Easements contained in Deed Book 2922, Page 187 (10' R.O.W.) and Deed Book 4044, Page 195 (for utility attachment) enclosed

Present use of the premises: Burlington County Outreach

**6. APPLICANT'S EXPERTS/REPRESENTATIVES:**

**Applicant's Attorney** Thomas H. Ehrhardt, LLC, by Thomas H. Ehrhardt, Esq.

Address 524 Main St., Riverton, NJ 08077

Telephone Number (856) 786-1886 Fax Number (856) 786-1889

**Applicant's Engineer** none  
(Name)

Address \_\_\_\_\_  
(Street) (City) (State) (Zip Code)

Telephone Number (\_\_\_\_) \_\_\_\_\_ Fax Number (\_\_\_\_) \_\_\_\_\_

**Applicant's Planning Consultant** none  
(Name)

Address \_\_\_\_\_  
(Street) (City) (State) (Zip Code)

Telephone Number (\_\_\_\_) \_\_\_\_\_ Fax Number (\_\_\_\_) \_\_\_\_\_

**Applicant's Traffic Engineer** none  
(Name)

Address \_\_\_\_\_  
(Street) (City) (State) (Zip Code)

Telephone Number (\_\_\_\_) \_\_\_\_\_ Fax Number (\_\_\_\_) \_\_\_\_\_

**7. OTHER EXPERTS**

List any other expert who will submit a report or who will testify for the Applicant: (Attach additional sheets, as may be necessary, with the following information):

Name J. Randolph Parry, Jr., AIA, LEED Green Associate Field of Expertise Architecture

Address 613 Main Street, Riverton, NJ 08077

Telephone Number (856) 829-9500 Ext 101 Fax Number (856) 829-9501

**RELIEF BEING REQUESTED**

The applicant is requesting the following relief from the Planning Board; (List as many forms of relief that are applicable):

**SUBDIVISION:**

- Major Subdivision Approval  Minor Subdivision Approval  
 Subdivision Approval (Preliminary)  Subdivision Approval (Final)  
Number of Lots to be created \_\_\_\_\_ Number of proposed dwelling units \_\_\_\_\_

**SITE PLAN:**

- Major Site Plan Approval  Minor Site Plan Approval  
 Preliminary Site Plan Approval (phases- if applicable) \_\_\_\_\_  
 Final Site Plan Approval (phases- if applicable) \_\_\_\_\_  
 Amendment of Revision to an Approved Site Plan (Area to be disturbed-square feet)  
Total number of proposed dwelling units \_\_\_\_\_

- Request for Waiver from Site Plan Review and Approval

Reason for request: No exterior or site changes or development proposed

\_\_\_\_\_  
 Informal Review of \_\_\_\_\_

Appeal decision of an Administrative Officer (N.J.S.A. 40-55D-70a); Describe nature of appeal:

\_\_\_\_\_  
\_\_\_\_\_

Map or Ordinance Interpretation of Special Question (N.J.S.A. 40:55D-70b); Description:

\_\_\_\_\_  
\_\_\_\_\_

Variance Relief – "Hardship" (N.J.S.A. 40:55d-70c(1)); Provide Reasons:

Unavailability of parking on site or on street adjacent to location

\_\_\_\_\_

Variance Relief – “Substantial Benefit” (N.J.S.A. 40:55D-70c(2); Provide Reasons:

Substantial benefit to the downtown community, consistent with neighborhood uses, attractive visual environment, promotion of general welfare, minimal negative impacts as walking encouraged in downtown and public transit close to location

Variance Relief – “Use” (N.J.S. 40:55d-70d); Provide Reasons:

Conditional Use Approval (N.J.S. 40:55D-67). Site applicable section of the Riverton Land Use Ordinance: \_\_\_\_\_

Direct issuance of a permit for a structure in a bed of mapped street, public drainage way, or flood control basin (N.J.S. 40:55D-34). Describe: \_\_\_\_\_

Direct issuance of a permit for a lot lacking street frontage (N.J.S.A. 40:55D-35) Blk \_\_\_\_\_ Lot \_\_\_\_\_  
Reason for request: \_\_\_\_\_

Section(s) of Ordinance from which a variance requested: 128-64 (Off-Street parking).

Waivers Requested of Development Standards and/or Submission Requirements (attach additional pages as needed): \_\_\_\_\_

## 8. SUBMISSION REQUIREMENTS

Attach a copy of the Notice to appear in the official newspaper of the Borough of Riverton (*Burlington County Times*) – see **Form #2**, and the Notice to be mailed to the owners of all real property, as shown on the current tax duplicate, located within 200 feet in all directions of the property which is the subject of this application- see **Form #1**. **NOTE:** Both notices must specify the sections of the Ordinance from which relief is sought, if applicable. Attach a Certification from the Riverton Tax Collector that all taxes on the subject property have been paid up to date- see **Form #4**. Also, attach hereto (or provide at least five days prior to the hearing date) an Affidavit of Service- see **Form #3**. **The publication and the service on the affected owners must be accomplished at least ten (10) days prior to the date scheduled for the hearing. Only an official notice from the Secretary of the Planning Board shall be relied on as to the scheduled hearing date.**

Explain in detail the exact nature of the application and the changes to be made at the premises, including the proposed use of the premises, *if applicable*: (attach pages as needed)

Applicant proposes to operate a shop serving coffees, teas, smoothies & baked goods; and soups, salads and sandwiches previously prepared. No cooking would be done on premises- just warming food items in some instances. The applicant proposes seventeen (17) indoor seats, which per Ordinance 128-64 requires 6 parking spaces, with zero (0) proposed, and proposes to add a handicapped-accessible bathroom. The applicant would operate seven (7) days a week with regular hours from 7:00 a.m. to 4:00 p.m., with occasional events outside of regular hours for showers, parties and such; and 1-2 times a month have special events in evenings with music including acoustic guitar. The use is permitted in the Neighborhood Business (NB) zone. The location is one unit of an existing multi-unit building which itself either complies with governing ordinances or has pre-existing non-conformities. Ordinarily, applicant would simply comply with Borough ordinances respecting new tenants, as no exterior or site work is proposed, but the parking situation requires application to the Board.

Please check each of the following that are applicable to this application:

Check here if NONE

Is a public water line available?                       Is public sanitary sewer available?

Does the applicant propose a well and septic system?

Have any proposed new lots been reviewed by the Tax Assessor to determine appropriate lot & block numbers?       YES                       NO

Are any off-tract improvements required or proposed? Explain: \_\_\_\_\_

Is the subdivision to be filed by Deed or Plat? Deed: \_\_\_\_\_ Plat: \_\_\_\_\_

What form of security does the applicant propose to provide as performance and maintenance guarantees? Explain: \_\_\_\_\_

Other approvals which may be required, and the dates that plans were submitted:

<u>AGENCY OR PERMIT</u>	<u>DECISION</u>		<u>DATE PLANS SUBMITTED</u>
Burlington County Health Department	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<u>Pending</u>
Burlington County Planning Board	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<u>Pending</u>
Burlington County Soil Conservation	<input type="checkbox"/> YES	<input type="checkbox"/> NO	_____
NJ Department of Environmental Protection	<input type="checkbox"/> YES	<input type="checkbox"/> NO	_____
PSE&G	<input type="checkbox"/> YES	<input type="checkbox"/> NO	_____
Other _____	<input type="checkbox"/> YES	<input type="checkbox"/> NO	_____

Check nature of approvals needed:

Sewer extension permit;

- Sanitary Sewer Connection Permit;
- Stream Encroachment Permit;
- Wetlands Permit;     Tidal Wetlands Permit;
- Potable Water Construction Permit;

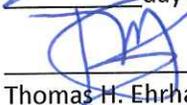
List of Maps, Reports and other materials accompanying the application (attach additional pages as required for complete listing): Interior plan of space, "531 Main St. Coffee Shop 'Revive Café'" prepared by J. Randolph Parry Architects, P.C., J. Randolph Parry, Jr., AIA, LEED Green Associate; photos of location

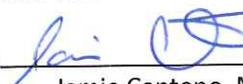
**9. CERTIFICATIONS**

**APPLICANT**

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual applicant or that I am an Officer of the Corporate applicant and that I am authorized to sign the application for the Corporation, or that I am a general partner of the partnership applicant. (If the applicant is a corporation, this must be signed by an authorized corporate officer as indicated in a resolution of the corporation which must be attached hereto. If the applicant is a partnership, this must be signed by a general partner.)

Sworn to and subscribed before me this

26<sup>th</sup> day of August, 2021  
  
\_\_\_\_\_  
Thomas H. Ehrhardt, Esq.  
Attorney at Law, State of New Jersey

Revive Café LLC  
By:   
\_\_\_\_\_  
Jamie Centeno, Member  
SIGNATURE OF APPLICANT

**OWNER (IF DIFFERENT FROM APPLICANT)  Check here if not applicable**

I certify that I am the Owner of the property which is the subject of this application, that I have authorized the applicant to make this application and that I agree to be bound by the application, the representations made and the decision in the same manner as if I were the applicant(s). (If the owner is a corporation, this must be signed by an authorized corporate officer as indicated in a corporate resolution which must be attached hereto. If the owner is a partnership, this must be signed by a general partner.)

Sworn to and subscribed before me this

26 day of August, 2021

\_\_\_\_\_  
Thomas H. Ehrhardt, Esq.  
Attorney at Law, State of New Jersey

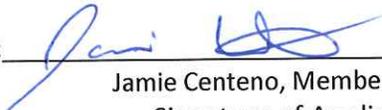
  
\_\_\_\_\_  
Joseph Rainer, Jr.  
SIGNATURE OF OWNER

**ACKNOWLEDGEMENT OF ESCROW**

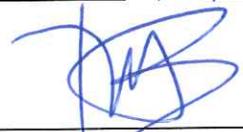
I understand that the sum of \$350 has been deposited in an escrow account specifically maintained by the Borough of Riverton for applications before the Planning Board. I have read and understand Riverton Borough Chapter 128, as amended, governing the required fees, escrow deposits and procedures regarding this application. I further understand that the escrow account is established to cover the cost of professional services including engineering, planning, legal and other expenses associated with the review of submitted materials, and publication of the decision of the Board with regard to the application. Sums not utilized in the review process shall be returned. If additional sums are deemed necessary, I understand that I will be notified of the required additional amount and shall add that sum to the escrow account within fifteen (15) days. I ALSO UNDERSTAND, ACKNOWLEDGE AND AGREE THAT ANY DECISION MADE REGARDING MY APPLICATION SHALL BE SUBJECT TO THE PAYMENT OF ALL ESCROWS DUE AND OWING UPON A FINAL DETERMINATION OF THIS APPLICATION, AND THAT A FAILURE TO PAY ALL ESCROW SUMS DUE WILL RESULT IN LEGAL ACTION BEING TAKEN AGAINST ME, INCLUDING LIENS AGAINST ANY PROPERTY THAT I MAY OWN (IF PERMISSABLE), AND THAT I WILL BE FURTHER RESPONSIBLE FOR THE PAYMENT OF ALL LEGAL FEES OR OTHER COSTS OF COLLECTION INCURRED BY THE BOROUGH OF RIVERTON ASSOCIATED WITH THE BOROUGH'S EFFORTS TO OBTAIN ALL SUCH AMOUNTS OWED BY ME.

Date: 8-26-2021

Revive Café LLC

By:   
Jamie Centeno, Member  
Signature of Applicant

Sworn to and subscribed before me this  
26<sup>th</sup> day of August, 2021

  
Thomas H. Ehrhardt, Esq.  
Attorney at Law, State of New Jersey

CHECKLIST FOR SUBMISSION

Please call for Deadlines  
PUBLIC NOTICES DEPARTMENT  
Burlington County Times (NJ)  
215-949-4112  
Fax: 215-259-0603  
EMAIL: [legals@calkins.com](mailto:legals@calkins.com)

\_\_\_\_\_ 17 Copies of application and plan with the original being certified and notarized 20 days prior to hearing

X  200 Ft List Request form completed

X  **Application Fee CHECK NUMBER**  334

(check all that apply)

- \$100 Variance Application
- \$50 Change of Use for Non-Residential
- \$350 Site Plan Application
- \$200 Minor Subdivision
- \$500 Major Subdivision

X  **Escrow Paid (amount) CHECK NUMBER**  335

(check all that apply)

- \$350 Variance
- \$500 Minor Subdivision
- \$4,000 Major Subdivision
- \$1,000 floor area less than 1,000 sq. feet Site Plan
- \$3,000 floor area between 1,000 – 9,999 sq. feet Site Plan
- \$5,000 floor area 10,000 sq. feet and over Site Plan

\_\_\_\_\_ Board Secretary confirm date for application hearing

Secretary  
Initials

\_\_\_\_\_ Publication in Official Newspaper MUST BE DONE AT LEAST 10  
DAYS PRIOR TO HEARING DATE

\_\_\_\_\_ Form 2  
Public Notice to 200 foot list with Affidavit Form 3

\_\_\_\_\_ Tax Certification Form 4

**TO THE HEARING BRING FORMS 2, 3, 4 with all receipts, proof of mailing, and Affidavits.**

## EASEMENT FOR UTILITY ATTACHMENT

This agreement made this 13th day of APRIL, 1990 between Robert B. Moccia located at 528 Main Street, Riverton New Jersey 08077 (hereinafter referred to as "Grantor") and the New Jersey Bell Telephone Co., a New Jersey Corporation, (hereinafter referred to as "Grantee") having its principal offices at 540 Broad Street, Newark, New Jersey.

WHEREAS, the Grantor is the owner in fee simple of the real property and building thereon located at 111 Howard Street, and also being presently known and designated as Block 901 Lot 26, on the Official Tax Map of the Borough of Riverton, Burlington County, New Jersey, and, XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX.

WHEREAS, the Grantee, in order to improve and supplement communication services to its subscribers, does own and maintain a certain telephone plant attached to the building situated on the above described property and as shown on the sketch attached hereto and made a part hereof and identified as Exhibit A, and further described as: an aerial cable extending overhead for a distance of approximately twenty five feet from the Southeastern corner of a building located at 523 Howard Street to the Northeastern corner of said building and along the Northernly wall of said building for a distance of approximately thirty feet.

WHEREAS, the Grantor does agree to the continued location and maintenance of said telephone plant of Grantee for the consideration herein, and upon the mutual promises, covenants and conditions set forth hereunder:

NOW THEREFORE, this Agreement Witnesseth: In consideration of these promises and the sum of ONE DOLLAR paid to the Grantor by the Grantee, the receipt whereof is hereby acknowledged, and in further consideration of the mutual promises, covenants, and conditions herein contained, both parties agree:

FIRST: Grantor does hereby grant and convey unto the Grantee, its associated and allied companies, successors in interest and assigns forever, an EASEMENT IN PERPETUITY to attach to said building of Grantor, with full rights, privileges and authority for Grantees to have access to same from time to time, WITHOUT NOTICE to Grantor, for the purpose of inspecting, locating, rebuilding, removing and perpetually operating, maintaining and attaching of said telephone plant in the manner and location indicated on the attached sketch Exhibit A; together with such free and unlimited access to, from and over all points as is reasonable or necessary for full use, occupation and enjoyment of same.

SECOND: Grantee shall perform all work in connection with the rights, privileges and authority herein granted and conveyed in a workmanlike manner and with a minimum of inconvenience to the Grantor; and any damage done to the land or premises of Grantor shall be promptly repaired and restored to its condition immediately prior to damage, at the sole costs and expense of the Grantee proximately causing such damage.

Prepared by:

Richard J. McConnell  
Richard J. McConnell

**THIRD:** In the event that Grantor wishes to make alterations or improvements to said building that require the temporary removal and subsequent re-attachment of said cable, the Grantee or its respective agents will remove and replace the cable within the easement area or to another suitable location on the property of the Grantor, suitable to Grantee, at the sole cost and expense of Grantee upon receipt of written notice from Grantor.

**FOURTH:** Grantee agrees to abide to the terms and conditions herein on their part to be performed, and the provisions of this agreement shall inure to the benefit of and be obligatory upon the respective parties hereto, and their heirs, successors in interest and assigns. The agreement, conditions, covenants and promises herein contained are intended to be covenants running with the land.

**FIFTH:** Grantee agrees to indemnify and hold harmless the Grantor for and against any and all claims, demands, actions, liability suits, judgments for damages and/or injury caused by or arising out of the aforesaid construction, installation, maintenance, repair, use and operation.

Robert S. Moccia (L.S.)

Robert S. Moccia

RETURN TO  
MR. R. J. MCDONNELL  
AGENT OF RAY AGENT  
NEW JERSEY BELL TELEPHONE CO.  
200 PARKWAY  
NEW JERSEY, N. J. 07102

DB4044 PG196

ACKNOWLEDGEMENT  
INDIVIDUAL

STATE OF NEW JERSEY.

SS.:

COUNTY OF Burlington  
BE IT REMEMBERED, that on this 13<sup>th</sup> day of April 19 90, before  
me, the subscriber, a Notary Public  
personally appeared Robert S. Moccia  
who, I am satisfied, is the person named in and who executed the  
within instrument, and thereupon he acknowledged that he signed,  
sealed and delivered the same as his act and deed, for the uses and purposes  
therein expressed; and that the full and actual consideration paid or to be paid for the  
transfer of title to realty evidenced by the within deed, as such consideration is  
defined in P.L. 1969, c. 49, Sec. 1 (a) is Less than \$100.00

Prepared by:

Richard J. McConnell  
Richard J. McConnell

Robert S. Moccia

ELITE E. MATERA  
NOTARY PUBLIC BY NEW JERSEY  
BY EXPIRATION APRIL 30, 1990

Elite E. Matera



Map # 05158 |

RETURN TO:  
MR. R.J. McCONNELL  
RIGHT OF WAY AGENT  
NEW JERSEY BELL TELEPHONE CO.  
2225 EVESHAM ROAD  
VOORHEES, N.J. 08043

APR 13 9 54 AM '90  
RECORDED

RECORDED

DB4044 PG197

65423

T-43375  
107-DEED WARRANTY (With State by Covenants)  
IND. OR CORP. - Plus

GRVST-1

Copyright 1982 By ALL-STATE LEGAL SUPPLY CO.  
One Commerce Drive, Cranford, N.J. 07016

# DEED

COUNTY OF BURLINGTON  
CONSIDERATION \$150,000.00  
REALTY TRANSFER FEE \$32.00  
DATE 11-5-84 BY [Signature]

This Deed is made on November 5, 1984

BETWEEN JEROME WARREN and INA WARREN, his wife, and JOHN J. FANELLI and GLORIA FANELLI, his wife,

whose address is 1202 Louis Street, Cinnaminson, NJ

referred to as the Grantor,

AND RYAN JASON CORPORATION

whose post office address is 526 Main Street, Riverton, New Jersey

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of **ONE HUNDRED FIFTY THOUSAND (\$150,000.00) DOLLARS**

The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-2.1) Municipality of  
Block No. 903 Lot No. 26 Account No.

No property tax identification number is available on the date of this Deed. (Check box if applicable.)

Property. The property consists of the land and all the buildings and structures on the land in the Borough of Riverton of Burlington County and State of New Jersey. The legal description is:

BEGINNING at the intersection of the Northeasterly line of Main Street with the Northwesterly line of Broad Street (formerly Sixth Street), and extending thence (1) along the Northwesterly line of Broad Street, North 56 degrees 58 minues East 67.5 feet to a point; thence (2) at right angles to Broad Street on a course of North 33 degrees 02 minutes West 68 feet to a point; thence (3) South 56 degrees 58 minutes West, 5.19 feet to a point in the extended center line of party wall between premises herein described and adjoining premises on the Northwest; thence (4) South 65 degrees 08 minutes 35 seconds West and passing along the center of said party wall and its extension, 84.56 feet to a point; thence (5) North 25 degrees 08 minutes West parallel to Howard Street, 4.57 feet to a point; thence (6) South 64 degrees 52 minutes West, 15 feet to a point in Northeasterly line of Howard Street; thence (7) passing along the Northeasterly line of said Howard Street, South 25 degrees 08 minutes East, 10.5 feet to intersection of Northeasterly line of Howard Street with the Northeasterly line of Main Street, aforesaid; thence (8) South 58 degrees 57 minutes 50 seconds East along the Northeasterly line of Main Street, 84.75 feet to the place of beginning.

ALSO being known as 531 Main Street, Riverton, New Jersey.

ALSO being described as per current survey as per attached description.

Prepared by:

*Arnold N. Fishman*  
ARNOLD N. FISHMAN

ALL THAT CERTAIN land and premises situate in the Borough of Riverton, County of Burlington and State of New Jersey, bounded and described according to a survey by Land Engineering & Surveying Co., Inc., Lawrence J. Babb, L.S. Dated October 17, 1984, as follows:

BEGINNING at the intersection of the Northeasterly line of Main Street ( 30' wide ) with the Northwesterly line of Broad Street ( 34.73 ' wide ) ( formerly Sixth Street ), and extending thence:

- 1) Along the Northwesterly line of Broad Street, N 56° 58' 00" E, a distance of 67.30 feet to a point corner to Lot 27, Block 903 as shown on the Borough of Riverton Tax Map, thence;
- 2) Along Lot 27-N 33° 02' 00" W a distance of 68.00 feet to a concrete monument found corner to the same, thence;
- 3) S 56° 58' 00" W a distance of 5.19 feet to a concrete monument found in the extended center line of party wall between premises herein described and adjoining premises Lot 25 on the Northwest, thence;
- 4) Along the same S 65° 08' 35" W and passing along the center of said party wall and its extension, a distance of 84.56 feet to a point, thence;
- 5) Still along Lot 25 N 25° 08' 00" W parallel to Howard Street, 4.37 feet to a point, thence;
- 6) Along the same S 64° 52' 00" W, 15.00 feet to a point corner to the same and in the Northeasterly line of Howard Street ( 60' wide ), thence;
- 7) Along the same S 25° 08' 00" E a distance of 10.30 feet to intersection of Northeasterly line of Howard Street with the Northeasterly line of Main Street, aforesaid, thence;
- 8) S 58° 57' 50" E along the Northeasterly line of Main Street, a distance of 34.73 feet, to the place of beginning.

SUBJECT to a 10' wide R-O-W across premises, the second course of the above described tract being the easterly line.

BEING Tax Lot 26, Block 903 ( formerly Lot 27, Block 31 ), Also being known as 331 Main Street, Riverton, New Jersey.

408 1 17 1984

**Promises by Grantor.** The Grantor's promises are listed below. Each promise is expressed in the language of a New Jersey law (with a reference to the law) and is followed by an explanation in plain language. The Grantor promises that:

- a. the Grantor is lawfully seized of the ~~land~~ (N.J.S.A. 46:4-3) - the Grantor is the legal owner;
- b. the Grantor has the right to convey the said land to the Grantee (N.J.S.A. 46:4-4) - the Grantor has the right to convey (sell) this property;
- c. the Grantee shall have quiet possession of the land (N.J.S.A. 46:4-5) - the Grantee will not be disturbed by others with claims against this property;
- d. the Grantor will execute such further assurances of the said lands as may be requisite (N.J.S.A. 46:4-10) - the Grantor will comply with the Grantee's reasonable requests to correct any title defect; and
- e. the Grantor will warrant generally the property hereby conveyed (N.J.S.A. 46:4-7) - the Grantor guarantees the Grantee's ownership of the property.

**Who is Bound.** The promises made in this Deed are legally binding upon the Grantor and all who lawfully succeed to the Grantor's rights and responsibilities. These promises can be enforced by the Grantee and all future owners of the property.

**Signatures.** The Grantor signs this Deed as of the date at the top of the first page. If the Grantor is a corporation, this Deed is signed and attested to by its proper corporate officers and its corporate seal is affixed.

Witnessed or Attested by:

*Jean L. Smoker*  
 JEAN L. SMOKER  
 A Notary Public of New Jersey  
 My Commission Expires July 18, 1988

*Jerome Warren* (Seal)  
 JEROME WARREN

*Ina Warren*  
 INA WARREN

*John J. Fanelli*  
 JOHN J. FANELLI

*Gloria Fanelli*  
 GLORIA FANELLI

STATE OF NEW JERSEY, COUNTY OF BURLINGTON SS:  
 I CERTIFY that on November 5, 19 84  
**JEROME WARREN, INA WARREN, his wife, JOHN J. FANELLI and GLORIA FANELLI, his wife,** personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed; and
- (c) made this Deed for \$150,000.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)

Prepared by:  
*Arnold N. Fishman*  
 Arnold N. Fishman

*Jean L. Smoker*  
 JEAN L. SMOKER  
 A Notary Public of New Jersey  
 My Commission Expires July 18, 1988

STATE OF NEW JERSEY, COUNTY OF \_\_\_\_\_ SS:  
 I CERTIFY that on \_\_\_\_\_, 19 \_\_\_\_\_

personally came before me and this person acknowledged under oath, to my satisfaction, that:

- (a) this person is the \_\_\_\_\_ secretary of \_\_\_\_\_ the corporation named in this Deed;
- (b) this person is the attesting witness to the signing of this Deed by the proper corporate officer who is \_\_\_\_\_ the \_\_\_\_\_ President of the corporation;
- (c) this Deed was signed and delivered by the corporation as its voluntary act duly authorized by a proper resolution of its Board of Directors;
- (d) this person knows the proper seal of the corporation which was affixed to this Deed;
- (e) this person signed this proof to attest to the truth of these facts; and
- (f) the full and actual consideration paid or to be paid for the transfer of title is \$ \_\_\_\_\_ (Such consideration is defined in N.J.S.A. 46:15-5.)

Signed and sworn to before me on \_\_\_\_\_, 19 \_\_\_\_\_  
 \_\_\_\_\_ (Print name of attesting witness before signature)

Prepared by:  
 \_\_\_\_\_  
 N.J.S.A. 46:11-13 (Print signer's name before signature)

**DEED**

JEROME WARREN, et ux, et al

Grantor.

TO

RYAN JASON CORPORATION

Grantee.

Dated: . 19

Record and return to:

ARNOLD N. FISHMAN, P.C.

*RF*  
CHARGE & RETURN TO:  
BURLINGTON COUNTY ABSTRACT CO.  
451 High St. • P.O. Box 588  
Burlington, NJ 08016-0588

11811

NOV 7 10 13 AM '84  
BURLINGTON COUNTY  
CLERK

RECEIVED 11-7-84  
at 10:13 o'clock AM  
and Recorded in the Clerk's Office  
of Burlington County at Mt. Holly  
in Book 2822 of  
Gilda folio 187  
Edward A. Kelly, Jr. Clerk

15

Form #4

TAX PAYMENT CERTIFICATION

Pursuant to the New Jersey State Law, Chapter 174 or 1987, N.J.S. 40:55D-39c and N.J.S. 40:55D-65-h, an applicant may be required to furnish proof that no taxes or assessments for local improvements are due or delinquent on the property for which any relief is being sought through the Planning Board. An applicant must complete Section I of this form and request the Riverton Tax Office to Complete Section II, which verifies that no taxes or assessments are due. When completed, the applicant should attach this form to the application that is to be submitted to the Planning Board.

SECTION I (To be Completed by Applicant):

Revive Café, LLC, with an address at 106 Lippincott Ave., Riverton, NJ 08077 is making an application for the following relief before the Planning Board of the Borough of Riverton: Variance Relief 40:55D-70(c)(1) &/or (c)(2), pertaining to parking requirements under Riverton Borough Ordinance 128-64

regarding property known as Block 903, Lot(s) 26 on the Tax Maps of the Borough of Riverton, located at: 531 Howard St. whose owner of record is

Joseph Rainer, Jr. who resides at 1011 Beechwood Rd., Riverton, NJ 08077. I request the Tax Collector of the Borough of Riverton to determine if all taxes and/or assessments are paid on the property that is the subject of my application.

Revive Café LLC

Date of Request: 8-26-2021

By: [Signature]
Jamie Centeno, Member
Signature of Applicant

SECTION II (To be completed by Tax Collector)

I certify that: [X] All taxes are paid up to date on the above referenced property
[ ] All assessments due have been paid
[ ] The following are delinquent and past due:

Date: 8/27/21

I verify that this information accurately reflects municipal tax records.

[Signature]
Dolores Rosso, CTC
Tax Collector, Riverton Borough
County of Burlington





# THOMAS H. EHRHARDT, LLC

ATTORNEYS AT LAW

Thomas H. Ehrhardt\*  
\*Also Member NY Bar

August 26, 2021

**VIA HAND DELIVERY**

Borough of Riverton Planning Board  
Attn: Ms. Michelle Hack, RMC, Board Secretary  
505 A Howard St.  
Riverton, NJ 08077

**RECEIVED**

**AUG 27 2021**

**BORD OF RIVERTON**

**Re: Application for Variance  
Block 903, Lot 26, 531 Howard St., Riverton**

Dear Michelle:

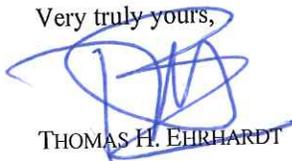
This office represents Revive Café, LLC, the applicant on the above-referenced Application and property. Enclosed please find an original plus sixteen (16) copies of the following:

- Borough of Riverton- Planning Board Application for Variances, signed and notarized<sup>1</sup> and including existing easements of record;
- Photographs of Property
- Architectural Plan, "531 Main Street 'Revive Café'" prepared by J. Randolph Parry Architects, P.C., John R. Parry, AIA

together with the Applicant's two (2) checks for payment of the Application fee (\$100.00) and Escrow (\$350.00).

Thank you for your attention to this matter. If you have any questions, please do not hesitate to contact me.

Very truly yours,



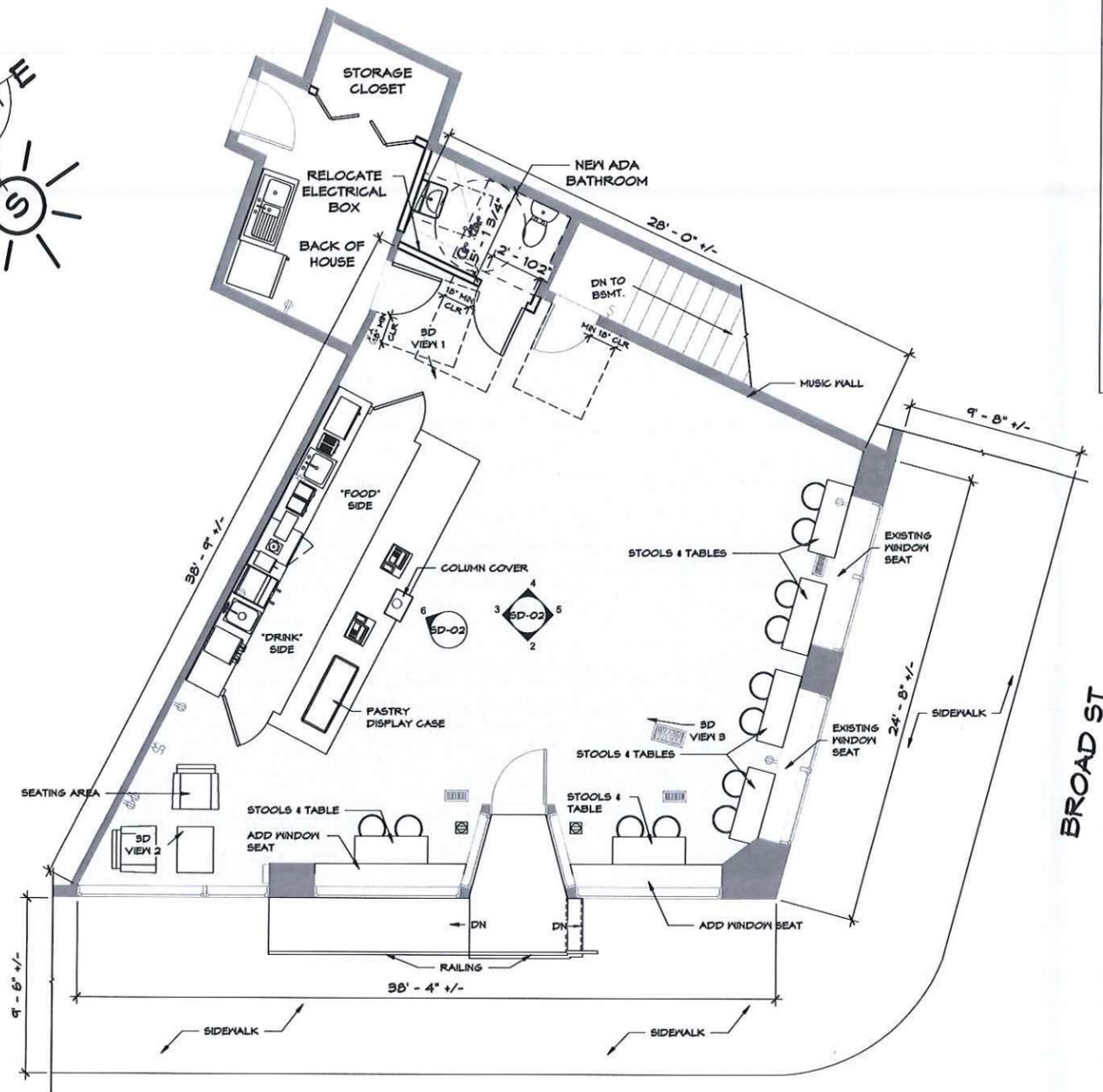
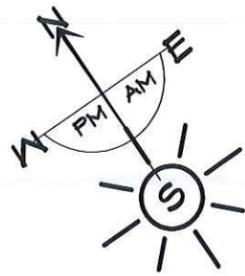
THOMAS H. EHRHARDT

THE:em  
Enclosures

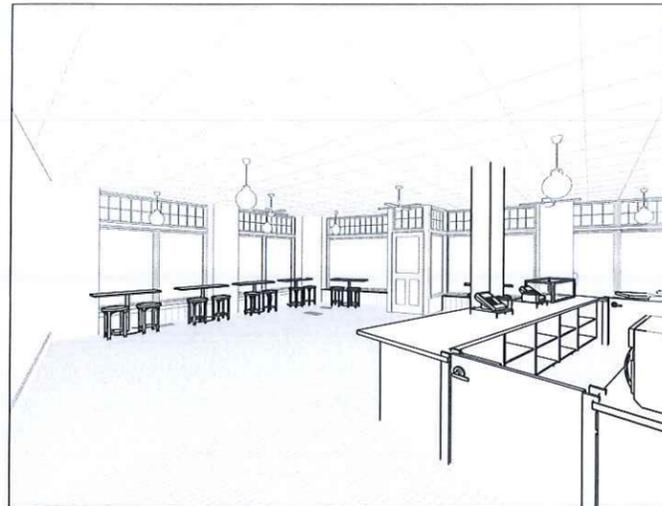
Cc: Client  
J. Randolph Parry Architects, P.C.  
Joseph Rainer, Jr.

W:\1-Clients.THE\LLC\Rev001.201\Corr\Riverton-PB-App.tm.docx August 26, 2021

<sup>1</sup> Joseph Rainer, Jr. and Kelly Rainer, the property owners, are out of state and were unable to obtain notarization and return an original Consent of Owner by the 8/27/21 submission deadline. I furnished Mr. Rainer with a separate signature page which he signed electronically, enclosed. When he returns next week, I will have him execute an original Consent of Owner page, which I will acknowledge and submit (original plus 16 copies). The Applicant understands that the Application is incomplete until this is done.



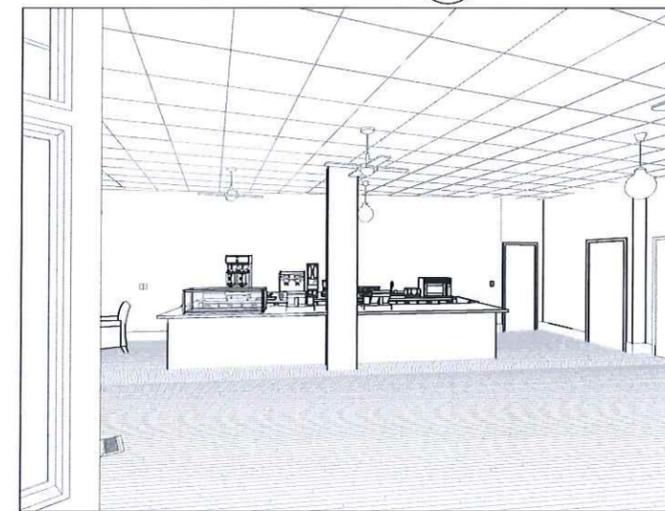
1 FIRST FLOOR  
SD-02 Scale: 1/4" = 1'-0"



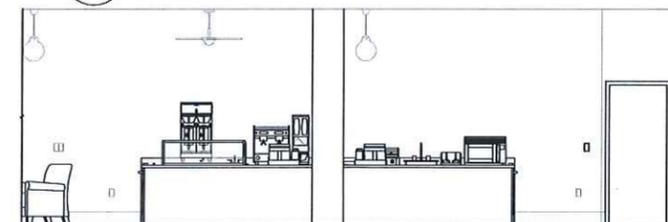
1 3D VIEW 1  
SD-02 Scale:



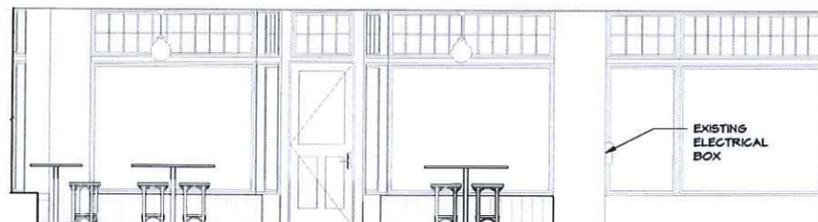
2 3D VIEW 2  
SD-02 Scale:



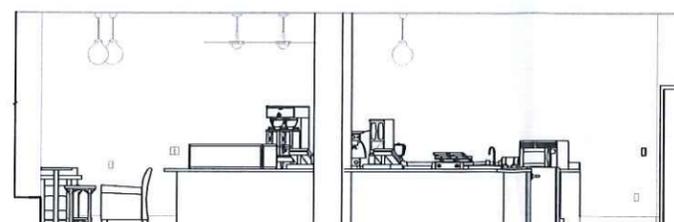
3 3D VIEW 3  
SD-02 Scale:



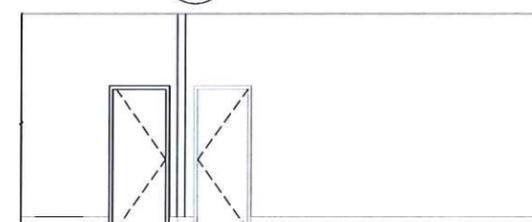
4 INTERIOR VIEW\_COUNTER  
SD-02 Scale: 1/4" = 1'-0"



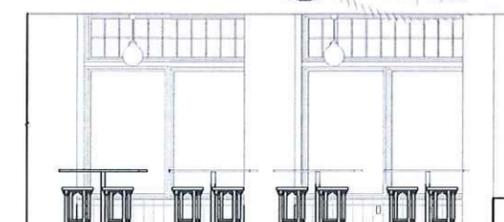
2 INTERIOR VIEW\_ENTRANCE  
SD-02 Scale: 1/4" = 1'-0"



3 INTERIOR VIEW\_SIDE WALL  
SD-02 Scale: 1/4" = 1'-0"



4 INTERIOR VIEW\_BACK WALL  
SD-02 Scale: 1/4" = 1'-0"



5 INTERIOR VIEW\_WINDOW WALL  
SD-02 Scale: 1/4" = 1'-0"





Michelle M. Taylor, AICP, PP  
Scott D. Taylor, AICP, PP, LLA, LEED AP

Steven F. Lennon, LLA, PP

Charles Morris, LLA

Corey S. Wilson, LLA

Holly M. Pasqua, Office Manager

- Community Planning
- Landscape Architecture
- Municipal Consulting
- Streetscape Design
- Economic Development
- Parks and Recreation

September 17, 2021

Ms. Michelle Hack, RMC, CMR, Board Secretary  
Planning Board  
Borough of Riverton  
505A Howard Street  
Riverton, New Jersey 08077

**Re: Application Number: V-06-2021**  
**Applicant: Jamie Centeno & Virginette Centeno**  
**Owner: Joseph Rainer, Jr.**  
**Block 903, Lot 26**  
**531 Main Street**  
**Borough of Riverton, Burlington County, New Jersey**  
**Minor Site Plan Waiver Request**  
**Planning Letter #1**  
**TDG Project No. 2020-110.04P.01**

**WBE•SBE**

Woman Business  
Enterprise  
Small Business  
Enterprise

Dear Mr. Chairman and Board Members,

Our office has received and reviewed the following submission items:

- **Land Development Application**, submitted by Thomas H. Ehrhardt, Esq., dated August 26, 2021.
- **531 Main Street, Interior first floor plan and views**, by JRP Architects, consisting of one (1) sheet, dated August 25, 2021.
- **Photographs exterior of 531 Main Street**, no author, consisting of one (1) sheet, not dated.
- **Survey Block 903, Lot 26**, Robins Associates, consisting of one (1) sheet, dated March 11, 2019.

Currently, we offer the following comments:

**A. Site**

1. The subject property is an irregular 6,473 SF (0.149 acre) lot, almost completely covered with an existing multi-tenanted, two-story, mixed use, commercial first floor and four apartment residential structure; and located on the northern corner of the intersection of Broad, Main, and Howard Streets. It does not appear that off-street parking is provided on the site. The site is within the Neighborhood Business NB District and the Historic Overlay Zone.

**B. Proposal**

1. The application characterizes that the first floor of the building to be occupied will be improved with a commercial kitchen and coffee bar with interior seating. The layout plan proposes approximately 14 seats within the building. No off-street parking spaces are currently provided or proposed.

Taylor Design Group, Inc.  
131 Hartford Road  
Mount Laurel, NJ 08054

T. 856.810.3443

W. TDGplanning.com

2. The ordinance at §109-3A requires a site plan review for any change of use. A site plan waiver is requested, and no physical improvements are proposed at the site.

### C. Surrounding Area

1. Main Street and Howard Street have on-street parking located due west of the site, away from the intersection. No on-street parking is available on Broad Street. The train station public parking area is located across Broad Street to the south and east.
2. The site and the surrounding area contain retail, professional, and service commercial uses located north, west, and south. Residential uses are located due east, northeast, and across Broad Street to the east. The rail line is located beyond Broad Street to the east. Please see an aerial image of the site and surrounding area below courtesy of Google 2021 ©.



### D. Master Plan

1. The 2009 Revitalizing Riverton – Improving the Downtown Business District study indicated that public parking both on-street and off-street is generally available within walking distance to the center of town. Though the study is over ten (10) years old, the 2018 Master Plan Reexamination and prior Master Plans characterize that promoting pedestrianism and strengthening economic vitality are plan objectives.
2. The 1998 Master Plan identifies the following intentions:
  - a. Support community businesses through ordinances that recognize commercial variety, compatible with the character of the community.
  - b. Encourage creativity, compromising some ordinance requirements.

### E. Zoning

1. The permitted uses in the NB District include retail sales and service commercial; and eating and catering establishments. As defined restaurants are establishments where food is consumed while seated within a building on the premises, except take-out service may be permitted.
2. The interior area of the first floor, excluding employee and service areas should be provided.



3. Based upon the interior layout, approximately 14 seats are proposed. Parking for the first floor is required at a rate of one parking space per every three seats, resulting in the need for 5 off-street parking spaces. For comparison, it appears that if the space were utilized for retail 3 to 5 off-street parking spaces may be required. This is an existing condition.

## F. Comments

1. Testimony should be provided regarding the uses and number of tenants within the existing building. The existing parking arrangements should also be provided.
2. Given the physical development of the site and surrounding area; and based upon the Master Plan characterizations that the walkable, business friendly downtown is desirable and highly rated by residents, permitting deviations from the parking requirements are warranted in this location. The applicant should provide testimony regarding the coffee shop and bakery's anticipated customer base.
3. We offer that buildings and not off-street parking lots, provide a vibrant streetscape, and encourage pedestrian activity. Shop windows and street activity draw customers.
4. Based upon the on-street parking supply and proximity to the train station, commercial district, and residential dwellings, the site appears to be a prime location for the proposed use, despite the lack of off-street parking.
5. Testimony should be provided regarding the following:
  - a. The location and interior area of the existing building available to the public, as it relates to the existing lot lines.
  - b. The number and designation of any existing off-street parking spaces.
  - c. The hours of operation.
  - d. Number of anticipated employees.
  - e. If lighting is proposed, then details and photometrics should be provided.
  - f. The proposed storage and anticipated schedule for pick-up of refuse, including recycling, food waste, and trash.
6. If necessary, the Board could grant a partial site plan waiver approval upon submission of a minor site plan addressing specific and identified site issues, which can be remedied.

If you have any questions or require additional information regarding this application, please do not hesitate to contact our office.

Respectfully submitted,  
**Taylor Design Group, Inc.**



Michelle Taylor, AICP, PP  
Board Planner

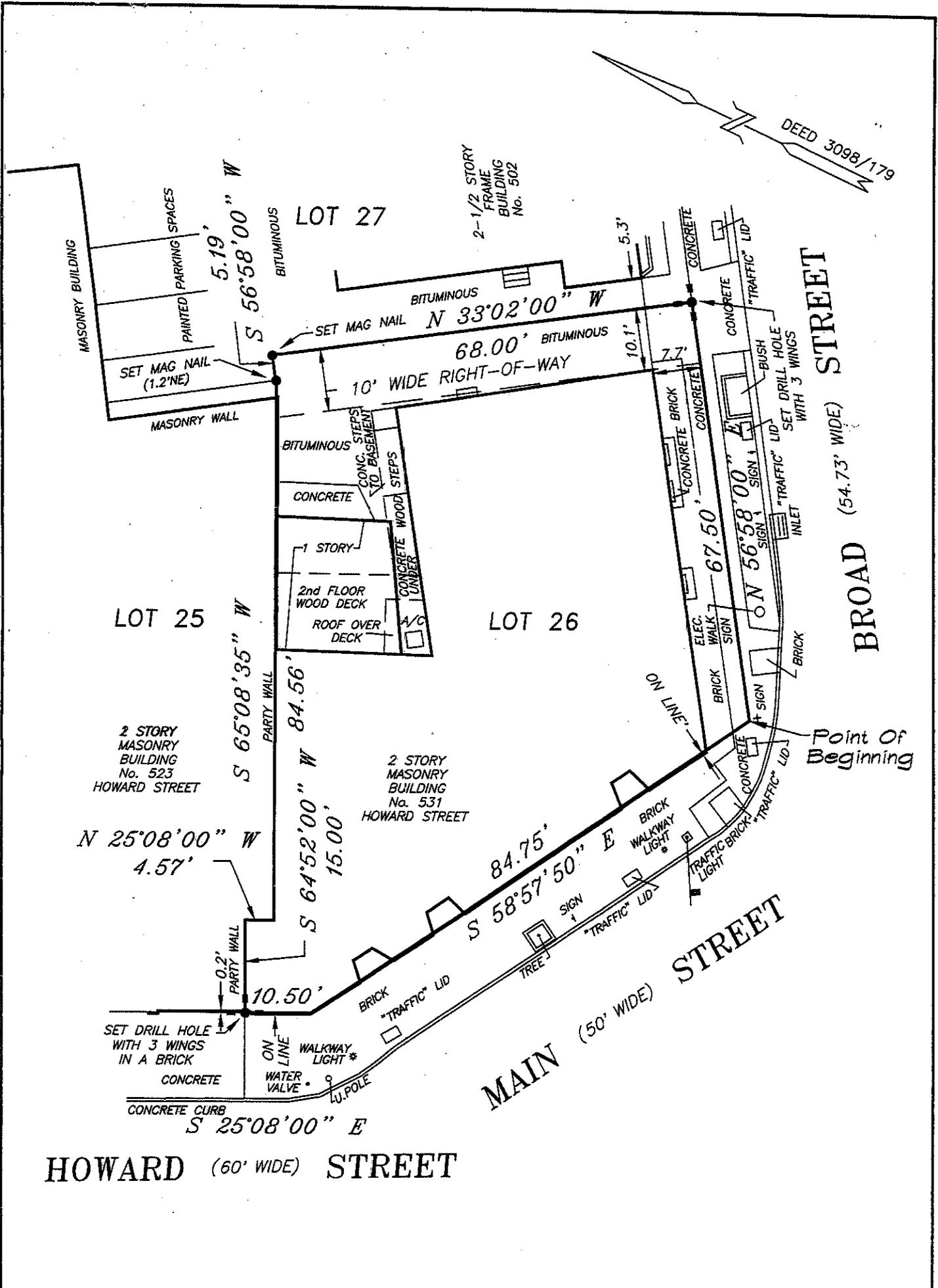
Ec: Charles D. Petrone, Esq., Board Attorney  
G. Jeffrey Hanson, PE, CME Board Engineer  
Thomas H. Ehrhardt, Esq., Applicant's Attorney



## **G. Addendum Sidewalk Seating**

1. If successful, the applicant might consider utilizing at least a portion of the public rights-of-way for table service. Outdoor seating is highly desirable, but due to the changes in the weather, the use of outdoor seating can be limited year-round.
2. If the applicant contemplates outdoor seating, then a license to permit same will be required from the governing body. The addendum to this report, addresses outdoor seating considerations.
3. There may be sufficient space to provide exterior tables and chairs or benches, along the public sidewalk. Any seating outdoors may conflict with the requirement to provide a four (4) feet clear walkable area for accessibility; and the entry stairs located along Broad Street. Where any seating conflicts, it should not be provided. Any encroachment or use of the public right-of-way requires a license agreement with the Borough and any licensing agreement should consider or mandate the following:
  - a. The proposed furniture, including but not limited to, tables, chairs, trash and recycling containers, planters, and/ or bussing stations, to be located outside the building.
  - b. Any temporary structures or furnishings within the right-of-way should be removed or secured outside business hours.
  - c. Outdoor lighting such as table lighting or as determined necessary, may be provided. Lighting should be sufficient, however should not produce off-site glare through visibility of the light source.
  - d. If any awnings, canopies, umbrellas, and tents are used, then same must adequately secured, as determined by the appropriate official.
  - e. The food service methods, including if any outdoor food preparation and/ or cooking should be provided. Food service should generally be provided from inside the dining establishment.
  - f. If exterior dining areas are reserved for table or self-service, a litter control plan, including the number and location of trash and recycling receptacles; and the frequency of pick-up to control accumulation should be provided.
  - g. If the use of outdoor speakers for ordering or music is contemplated, then sound levels and permitted times should be controlled.
  - h. At least four (4) feet clear must always be maintained on public sidewalk areas for accessibility.





**NOTES:**

- 1) BEING LOT 26, BLOCK 903, PLATE 9 ON THE BOROUGH OF RIVERTON TAX MAP
- 2) LOT AREA:  
0.149 ACRES±  
6,473 SQ. FT.±

MOCCIA INVESTMENTS, LLC.  
its successors and/or assigns  
JOSEPH RAINER & KELLY RAINER  
TO: FOUNDATION TITLE, LLC - MARLTON

any insuror or Title relying hereon and any other party in interest. "In consideration of the fee paid for making this survey, I hereby certify to its accuracy (except such easements, if any, that may be located below the surface of the lands or on the surface of the lands and not visible) as an inducement for any insuror of Title to insure the title to the lands and premises shown hereon.

REVISED	DESCRIPTION	
	<b>ROBINS ASSOCIATES</b> LAND SURVEYING 9 SCOTT ST., RIVERSIDE NJ 08075 PHONE: 461-9494	
	 <b>WILLIAM J. ROBINS</b> LAND SURVEYOR NJ LIC. No. 31663	
SURVEY FOR: <b>JOSEPH RAINER &amp; KELLY RAINER</b>		
LOCATION: <b>BOROUGH OF RIVERTON</b>		
<b>BURLINGTON COUNTY, NEW JERSEY</b>		
DATE	SCALE: 1"=20'	DRAWING NUMBER
03-11-2019	DRWN KR	CK'D WR <b>L19-0047</b>