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Laura Major, Councilwoman  
Julie Scott, Councilwoman  
James Quinn, Councilman  
Edgar Wilburn, Councilman



**Michelle Hack, RMC, CMR**  
Municipal Clerk  
mhack@riverton-nj.com

TELEPHONE: (856) 829-0120  
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**BOROUGH HALL**  
505A Howard Street  
Riverton, NJ 08077

November 19, 2021

Riverton Borough Planning Board

505A Howard Street

Riverton, NJ 08077

Dear Planning Board Members,

On October 20, 2021 I did a site visit to evaluate the condition of a residence located at 411 Lippincott Avenue in Riverton. I inspected the inside and the outside of the residence.

I found the residence in very poor structural condition. There were large cracks in the walls and ceilings throughout the house, rotted floors and rafters, sagging floors, leaning stairs, crumbling foundation and an outside chimney that is leaning away from the house and could fall at any time. Based off the findings of my inspection, I have deemed the house to be unsafe and uninhabitable. I issued an unsafe structure / uninhabitable notice for this residence (notice attached).

Respectfully Submitted,

Roger Fort

Construction Official

Riverton Borough

BORO OF RIVERTON  
CONSTRUCTION DEPARTMENT  
RIVERTON, NJ 08077

Permit #  
Date Issued / /  
Control #

# UCC NEW JERSEY NOTICE OF UNSAFE STRUCTURE

Work Site Location 409-13 LIPPINCOTT AVE. IDENTIFICATION Block 801 Lot 5 Qualification Code \_\_\_\_\_

Owner in Fee JRB PROPERTY GROUP LLC Agent/Contractor \_\_\_\_\_  
Address 163 PINNACLE ROAD Address \_\_\_\_\_  
OCEAN CITY, NJ 08226

To:  Owner  Other \_\_\_\_\_  
 Agent/Contractor Address \_\_\_\_\_

DATE OF INSPECTION 10/20/21 DATE OF THIS NOTICE 11/19/21

### ACTION

Take NOTICE that as a result of the inspections conducted by this agency on 10/20/21 on the above property, an unsafe condition has been found to exist pursuant to N.J.S.A. 52:27D-132 and N.J.A.C. 5:23-2.32. The building or structure, or portion thereof, deemed an unsafe condition is described as follows:  
**5:23-2.32 UNSAFE STRUCTURE / UNINHABITABLE**

You are hereby ORDERED to:

Vacate the above structure by / / .

Demolish the above structure by 12/09/21, or correct the above noted unsafe conditions by no later than / / .

Failure to correct the unsafe condition or refusal to comply with this ORDER will result in this matter being forwarded to legal counsel for prosecution and assessment of penalties up to \$2000 per week per violation. You must immediately declare to the Construction Official, your acceptance or rejection of the terms of this ORDER.

Any building or structure vacated pursuant to this ORDER shall not be reoccupied unless and until a certificate of occupancy is issued by the Construction Official.

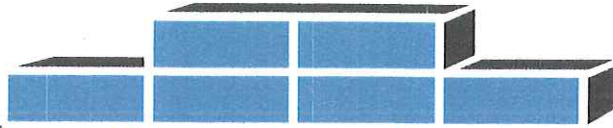
If you wish to contest this ORDER, you may request a hearing before the Construction Board of Appeals of the COUNTY OF BURLINGTON, within 15 days of receipt of this ORDER as provided by N.J.A.C. 5:23A-2.1. The Application to the Construction Board of Appeals may be used for this purpose.

Your application for appeal must be in writing, setting forth your name and address, the address of the building or site in question, the specific sections of the Uniform Construction Code in question and the extent and nature of your reliance on them. You may include a brief statement setting forth your position and the nature of the relief sought by you, and you may also append any documents that you consider useful.

The fee for an appeal is \$100 and should be forwarded with your application to the Construction Board of Appeals Office at:  
PO BOX 6000, MT. HOLLY NJ 08060.

If you have any questions concerning this matter, please call: ROGER FORT Date: 11-19-21  
By ORDER of: Roger Fort Construction Official

RECEIVED  
NOV 17 2021



BAKER, INGRAM & ASSOCIATES

STRUCTURAL ENGINEERS

BY:

PRINCIPALS

- LAWRENCE R. BAKER, JR., P.E.
- A. PAYNTER INGRAM, P.E.
- THOMAS E. WOODS, P.E.
- BRIAN D. MCGLADE, P.E.
- JOHN K. WOOD, P.E.
- FRANK M. YOUNG, P.E.

ASSOCIATE PRINCIPALS

- IAN T. WALTERS, P.E.
- CHERIE J. MOORE, P.E.
- JASON D. MOORE, P.E.
- MATTHEW R. YOUNG, P.E.

## SITE VISIT REPORT

**Project:** 411 Lippincott Avenue, Riverton, NJ  
**WO#:** H13851-21  
**Report By:** Anthony Ercole, P.E.  
**Report Date:** November 16, 2021  
**Visit Date:** September 21, 2021  
**Time on Site:** 8:30 to 11:00 AM  
**Participants:** James Brandenberger (part time)



### BACKGROUND

Baker Ingram and Associates was retained by James Brandenberger to review the condition of the house at 411 Lippincott Avenue, in Riverton, New Jersey. The house is a three-story structure with a full basement, and is believed to be approximately 90 to 100 years old. Crawl spaces are located below the two covered porches. The purpose of our site visit was to conduct a limited, visual review of the house to identify any readily visible structural issues.

### OBSERVATIONS

#### Basement

- The basement walls are in fair condition with only minor signs of cracking (Photograph #1). The basement shows signs of on-going water infiltration in several areas, as evidenced by the failing parging and deteriorated mortar joints on the walls.
- Shoring was installed in several locations throughout the basement (Photograph #2). Shoring in this type of application is generally added to correct sagging floors or reinforce the existing joists.
- Access into the crawl space from the basement was not possible, therefore we could not determine the condition of the porch framing and columns.

#### First Floor

- The porch floor and supporting columns (Photograph #3 and Photograph #4) are in very poor structural condition. Decaying wood at the column bases and missing floor decking was visible in many locations. The eaves of the porch roof have several areas where the wood has completely rotted away (Photograph #5).

BOROUGH OF RIVERTON

PLAN REVIEW

BLDG SUBCODE 11-19-21  
 FIRE SUBCODE  
 ELEC SUBCODE  
 PLMB SUBCODE  
 MECH SUBCODE  
 CC RELEASE 11-19-21

REGIONAL OFFICES

- LANCASTER, PA
- DOVER, DE
- NEWARK, DE
- HADDON HEIGHTS, NJ
- ANNAPOLIS, MD

2. The sills at the bay windows (Photograph #6) on each side of the porch are in extremely poor condition. The wood sills are decayed and have settled making the windows inoperable.
3. Numerous full height vertical wall cracks were observed throughout the interior of the first floor especially at the interface between the bay windows and the main walls of the house (Photograph #7 and Photograph #8).
4. Cracks were observed in the walls and ceiling throughout the first floor.
5. Uneven floors and settlement of the floors were noted throughout the entire first floor.
6. Sections of the floor sheathing and floor framing were missing in the kitchen area (Photograph #9).

#### Second Floor & Third Floor

1. The stair connecting the first and second floors are noticeably sagging (Photograph #11).
2. Uneven floors and settlement of the floors were noted throughout the both floors. This condition was especially severe in the areas adjacent to the bay windows.
3. The sills at the bay windows have settled and the windows are inoperable (Photograph #12).
4. Many of the exterior sills and eaves are extremely decayed. (Photograph #13, Photograph #14 and Photograph #15).

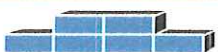
#### Exterior

1. Distressed foundation conditions were noted at the rear corner of the building (Photograph #10). This included the cracking in the brick and parging, along with a loss of mortar from within the joints.
2. The chimney on the left side of the house appears to have moved away from the main structure (Photograph #16 and Photograph #17). Mr. Brandenberger noted that he measured the chimney to be out of plumb by as much as 12".
3. Rotting and decaying sections of the exterior eaves were observed in many locations.

#### DISCUSSION

The general condition of the house is poor, and there are areas of concern that we recommend be addressed.

1. The floors are out of level and slope noticeably toward the exterior of the building. This behavior is frequently the result of decaying wood sills brought on by moisture in the foundation walls. Replacement of sections of the original wood sills may be required.
2. The full height vertical wall cracks in the rooms could also be related to the floor settlements. The repair would necessitate the removal of the existing wood lath and plaster and replacement.
3. Moisture has also damaged the window sills. The walls must be opened to determine the magnitude and extent of the required repair.
4. The exposed roof eaves in many areas are severely deteriorated and will require significant repair.



5. The temporary shoring should be reviewed to determine if the shoring is adequate or should be replaced with permanent posts and footings. Reinforcement or replacement of the existing framing may also be necessary.
6. While the exterior brick work of the chimney appears to be in good condition, it is noticeably out of plumb. The chimney will likely require reconstruction.
7. The main stairway including the floor landings have settled, and sloping hand rails are noticeable at the floor levels. Removal of the existing plaster will be required to determine the cause(s) of the settlement.
8. The porch framing and columns are beyond repair and should be replaced in their entirety.
9. At the rear entrance, the foundation wall has disintegrated and will require reconstruction in localized areas.
10. A number of floor joists supporting the kitchen are decayed and will require replacement.

**NOTE:**

Our assessment did not include a review of the roof framing or framing in the crawl space.

**SUMMARY**

It is our professional opinion that the magnitude and scope of the repairs for the items noted above will be very extensive and expensive. Nearly all of the items to be repaired will require the removal of finish materials and replacement with new materials. In some cases, the removal of the existing materials will be extremely difficult requiring detailed shoring/ bracing of the floors and walls to establish the extent of the repairs and determine the proper corrective action.

Based upon our observations of the existing conditions, the house is unsafe for the above mention items especially the holes in the floor, the distressed condition of the main stairway, numerous wall cracks in many locations and is not habitable at the present time.

**LIMITATIONS**

This report is based solely upon the clearly visible structural conditions that were accessible on the date of our site visit, and therefore does not reflect the structural conditions or elements that were either concealed or were not accessible.

We appreciate the opportunity to be of service in this matter. Should you have any questions concerning this report, or if we can be of further service in this matter, please do not hesitate to contact our office.

BAKER, INGRAM & ASSOCIATES

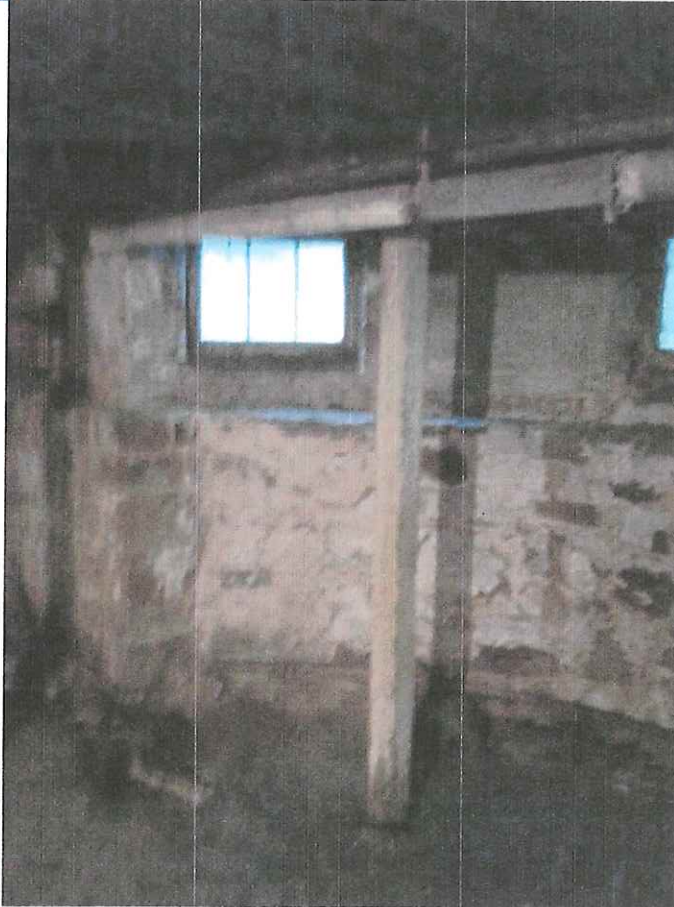
Anthony M. Ercole, P.E.  
N.J. License #24GE02491300





**Photograph #1 - Basement walls**





Photograph #2 - First floor framing - additional shores



Photograph #3 - Porch floor and supporting columns



Photograph #4 – Porch floor and supporting columns





**Photograph #5 – Porch roof eave**



**Photograph #6 – Bay window sills**





Photograph #7 – Interior first floor wall



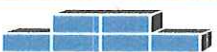
Photograph #8 – Interior bay window sills



Photograph #9 – Missing floor framing – kitchen



Photograph #10 – Distressed foundation





**Photograph #11 – Stair deflection and settlement**



**Photograph #12 – Bay window sills**



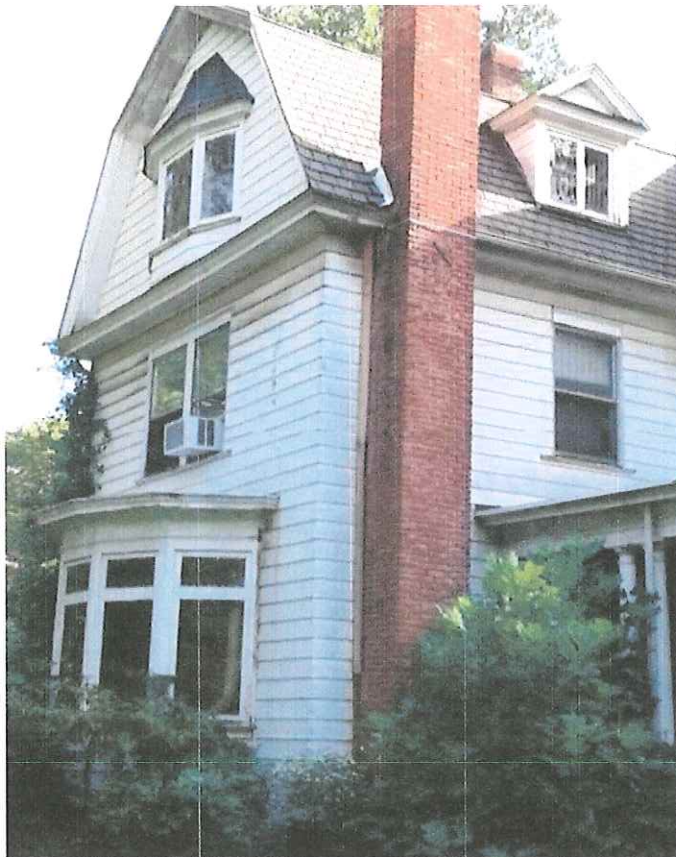
**Photograph #13 – Decayed eaves and sills**



**Photograph #14 – Decayed eaves and sills**



Photograph #15 – Decayed eaves and sills



Photograph #16 – Chimney on left side of house





Photograph #17 – Chimney on left side of house